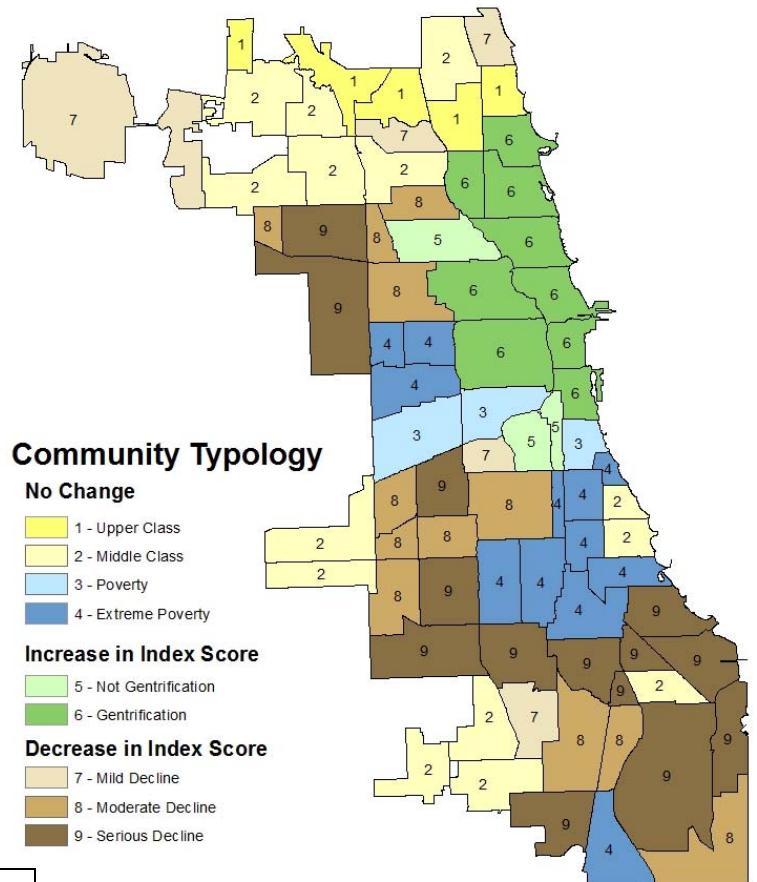


The Socioeconomic Change of Chicago's Community Areas: The Gentrification Index

This report released by The Voorhees Center examines neighborhood change in Chicago from 1970 to 2010 with a specific focus on identifying areas that have undergone gentrification. Gentrification is a process in which low-income households and local businesses are displaced by rising costs and rents as higher-income households and higher-end businesses move into a neighborhood. Using thirteen socioeconomic data indicators grounded in past research on gentrification, each of Chicago's neighborhoods were given an index score based on its performance relative to the city average. From this index score and how it changed over time, neighborhoods were divided into nine typology groups to identify which areas of the city experienced gentrification, which areas reported declines in socioeconomic measures, and which areas remained unchanged.

The report identifies several neighborhoods located primarily on Chicago's North and near West Sides that have fully gentrified since 1970 (see Type 6 below). Three other neighborhoods (Bridgeport, Logan Square, and Armour Square) also reported growth in their index score, and may fully gentrify in the near future if trends continue (see Type 5 below). The more prevalent trend, however, was decline in neighborhood socioeconomic status. Thirty-one community areas, located primarily on Chicago's far South and West sides reported drops in their index scores since 1970 (see Type 7, 8, and 9 below). Chicago has emerged a highly-polarized city, absent of middle class households that in 1970 made up nearly half the city.

LITTLE TO NO CHANGE SINCE 1970	
Type 1: Upper Class Neighborhoods	Edison Park, Lincoln Square, North Park, Edgewater, Forest Glen
Type 2: Middle Class Neighborhoods	Beverly, Dunning, Hyde Park, Irving Park, Jefferson Park, Norwood Park, West Ridge, Mount Greenwood, Portage Park, Calumet Heights, Clearing, Garfield Ridge, Kenwood, Morgan Park
Type 3: Poverty Neighborhoods	Douglas, Lower West Side, South Lawndale
Type 4: Extreme Poverty Neighborhoods	East Garfield Park, Grand Boulevard, North Lawndale, Oakland, Riverdale, Washington Park, West Englewood, West Garfield Park, Englewood, Fuller Park, Greater Grand Crossing, Woodlawn



CHANGE SINCE 1970				
Type 5: Not (Yet) Gentrification	Type 6: Gentrification	Type 7: Mild Decrease	Type 8: Moderate Decrease	Type 9: Severe Decrease
Bridgeport, Logan Square, Armour Square	Near South Side, North Center, Lake View, Lincoln Park, Loop, Near North Side, Near West Side, West Town, Uptown	O'Hare, Rogers Park, McKinley Park, Albany Park, Washington Heights	Montclare, Archer Heights, Avondale, Hegewisch, Hermosa, West Elsdon, West Lawn, Gage Park, New City, Pullman, Roseland, Humboldt Park	Ashburn, Avalon Park, Belmont Cragin, East Side, Brighton Park, Auburn Gresham, Burnside, Chicago Lawn, West Pullman, Austin, Chatham, South Chicago, South Deering, South Shore

Helpful Tools for Communities Impacted by Gentrification

In conjunction with our *Gentrification Index*, the Voorhees Center authored *Gentrification & Neighborhood Change: Helpful Tools for Communities*, which provides strategies for communities that have been or may be affected by gentrification. It details what local communities can do for prepare for and address gentrification-induced displacement, with an emphasis on community empowerment and working together to take action.

Tools for Addressing Gentrification:

Before Gentrification

- Coalition Building
- Tenant or Non-Profit Developer “Right to Purchase”
- Community Land Trusts
- Inclusionary Zoning
- Limited Equity Co-op Housing
- Community Benefit Agreements

Mid-Stage Gentrification

- Strengthened Rental Protections for Tenants
- Tax Abatement Policies
- Protections Against Condominium Conversion
- Rehabilitation & Preservation

Late Stage Gentrification

- Employer Assisted Housing
- Affordable Housing Trust Fund
- Housing Levies
- Addressing “not-in-my-backyard” sentiment

The strategies presented in this Toolkit are divided into three categories based on when during the gentrification process they may be of most use — Before Gentrification, Mid-Stage Gentrification, or Late Stage Gentrification.

The full Toolkit explains each of the strategies listed in detail and includes a synopsis of where local policies currently stand regarding each approach, with the hope that this information will help communities work within local opportunities and constraints. Also included is an outline of the pros and cons involved in taking each of these steps so that local residents and organizations can make informed decisions about their approach. Throughout the Toolkit, there is a strong emphasis on building partnerships with local officials, community businesses, and neighbors, encouraging likeminded people to collaborate.

For More Information

To access the full *Gentrification Index Report* and *Helpful Tools for Communities* visit www.voorheescenter.com. Like us at www.facebook.com/UICVoorheesCenter and follow us on Twitter: @VoorheesCenter.

About the Voorhees Center

The Voorhees Center is a dynamic resource center that engages residents, leaders, and policymakers seeking effective strategies for advancing community livability and vitality. Since its founding in 1978, the center has worked collaboratively with a diverse set of partners to provide technical assistance, conduct research, and generate new knowledge in comprehensive community development and neighborhood quality-of-life issues. Grounded in the idea that all individuals have a right to such amenities as quality housing, education, jobs, transportation and safety to lead decent and productive lives, the Center strives to empower community residents and stakeholders and provides them with tools to pursue equitable futures. While rooted in Chicago, the center’s community-driven and interdisciplinary approach has connected it with communities across the region, nation, and abroad. The Voorhees Center is a unit of the College of Urban Planning and Public Affairs at the University of Illinois at Chicago.